



## Home Inspection Report

123 Sample Buyer's Report  
Youngsville, NC 27587

Inspected By: Stephen Pait, CMI- Lic # 4329 &  
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Inspected On Mon, Sep 25, 2023 at 1:00 PM



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# Table of Contents

Report Summary	4
General	14
Site	15
Exterior	18
Garage	24
Roofing	26
Structure	33
Electrical	40
Electrical Sub Panel	43
HVAC	45
Plumbing	50
Kitchen	53
Laundry	55
Interior	56
Additional Photos	57

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

**Item In Need of Repair/Replacement:** A condition of a system or component that renders it nonworking, non-performing, non-functioning or unsafe, and requires a professional contractor to further evaluate and repair, correct or replace.

**Item of Improvement:** A condition of a system or component that renders it nonworking, non-performing, or non-functioning or unsafe, and may be repaired, corrected or replaced by a professional contractor or the homeowner. Or the item could benefit by being upgraded.

**Cosmetic Defect:** A superficial flaw or blemish in the appearance of a system or component that does not interfere with its safety or functionality. Cosmetic issues are beyond the scope of a North Carolina home inspector and therefore are provided as a courtesy.

**Item to Monitor:** An item that is not yet non-working, broken, nor unsafe but should be inspected periodically to ensure proper function.

All directional references in the report are based on standing in the street, facing the front door.

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

### Deficiency

#### Comment 3

##### Site: Patios

The front porch, back porch and back porch steps lack proper guardrails and a graspable handrail. Building guidelines require that every open portion of a stair, landing, balcony, porch, deck, ramp or other walking surface which is more than 30 inches above the floor or grade below shall have guardrails with spindle/baluster spacing no greater than 4" apart. Any stair system with 4 or more risers is required to have a graspable hand rail. The bottom stair riser is greater than allowed by building requirement. This is a fall safety hazard and installing guardrails with a graspable hand rail on each side is recommended.



**Comment 4**

**Exterior: Exterior Covering**

A section of stone veneer has become detached/on the front right left of the home. Repair is recommended by a qualified masonry contractor. The stone is detached on the foundation wall. Therefore, there is no risk of water entry at this location.



**Comment 7**

**Exterior: Exterior Covering**

The fiber cement panels, installed on the exterior gable walls lack Z-flashing at the band board. The manufacturer requires a-flashing to be installed at all horizontal joints to prevent possible water entry into the seam. Properly installing Z-flashing is recommended.



**BATTEN BOARDS**

**HORIZONTAL PANEL JOINTS**

Figure 17

All horizontal panel joints Hardsid™ battens must be installed according to option 1 or 2 below. When installing Hardsid™ battens horizontally, they must be installed as a panel joint according to option 2.

**Option 1**  
Figure 17 - No horizontal band board - Make a 22.5 - 45 degree weather cut in the Hardsid™ batten, just above the 1/4 in. clearance between panels.

**Option 2**  
Figure 18 - Horizontal Band Board - Install a horizontal band board at the top of the bottom panel. Butt the lower batten to the band board and start the top batten at the bottom edge of the top panel. Maintain a 1/4 in. clearance above horizontal flashing.

**Comment 8**

**Exterior: Exterior Trim Material**

The garage entry door jamb and corner trim to the left of the front door had moisture damage. Repair is recommended by a qualified professional to prevent additional moisture entry and further deterioration or possible water entry. .



**Comment 15**

**Exterior**

The damper on the left front exhaust vent is missing and should be replaced to prevent pest entry. The vent was full of wasp nests. Repair is recommended by a qualified contractor.



**Comment 18**

**Garage**

Signs of termites were visible in the garage. Contact a licensed pest company for treatment if the current owners cannot provide proof of previous treatment.



**Comment 19**

**Roofing: Roof Covering**

A license roofing contractor is recommended to perform a full evaluation of the roof, covering due to active leaks and multiple moisture stained areas of the ceiling observed at the time of the inspection.





**Comment 20**

**Roofing: Vent Stacks**

The gas fireplace vent does not have the proper clearance from the roof covering per building guidelines. A qualified fireplace contractor is recommend for evaluation and repair.

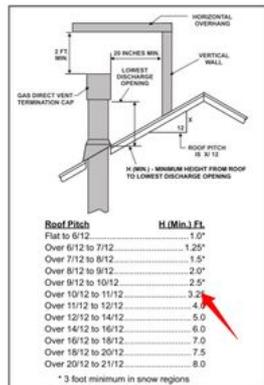


Figure 7.11 Minimum Height From Roof To Lowest Discharge Opening

**Comment 21**

**Roofing: Vent Stacks**

Exposed fastener heads on the roof could lead to water intrusion and damage to surrounding components. Seal all exposed heads with the appropriate roofing sealant.



**Comment 22**

**Roofing: Chimney**

The metal chimney chase, where it penetrates the attic, requires a draft stop or thimble. This is required to reduce debris entry, conditioned air loss, and is used as a fire stop. Repair by qualified fireplace technician is required.



**Comment 29**

**Structure: Foundation Material**

A licensed structural engineer is required to evaluate multiple areas of the home's structure. Tree roots have compromised the foundation on the left side of the home. Roots were visible in the crawlspace. Soil heaving was observed. Settlement was present on the foundation stemwall and diagonal cracks were visible in the wall structure above this location.

**Comment 30**

**Structure: Foundation Material**

The screened in back porch appears to be an addition. The structural engineer is recommended to evaluate this installation as it is not built according to standard constructive practices and could compromise the integrity of the structure in this location. Settlement was observed on the interior of the home at this location.

**Comment 35**

**Structure: Crawlspace: Ventilation Present**

The foundation vents at multiple locations are below the exterior grade. This allows water to enter the crawlspace and prevents proper ventilation. Installing foundation vent wells and properly grading is recommended.



**Comment 36**

**Structure: Crawlspace**

A qualified contractor is recommended to evaluate multiple areas of active water entry into the crawlspace, elevated moisture levels on the floor, structure, wet/damaged/missing insulation. An invasive evaluation is recommended to determine the extent of any moisture damage.





**Comment 40**

**Electrical: Smoke Detectors**

Hardwired smoke alarms are required to be connected to the home's electrical system and should set off every alarm in the home when tested. The master bedroom alarm failed to set of all other alarms and need evaluation/repair or replacement by a licensed electrician to ensure all alarms are properly connected. This is a fire safety hazard.

**Comment 41**

**Electrical: Carbon Monoxide Detectors**

It is required to install at least one carbon monoxide detector in this home. Current guidelines require at least one carbon monoxide alarm in any home with a fuel fired system or with an attached garage. This is a safety hazard.

### **Comment 43**

#### **Electrical: Electrical Fixtures: Lights/fans**

Multiple 3-way switches were not functioning properly. They would not not switch on/off in any position as a properly wired 3-way switch should. Evaluation and repair by a licensed electrician is required.

### **Comment 44**

#### **Electrical: Electrical Fixtures: Lights/fans**

Multiple light fixtures would not illuminate using standard operating controls/switches. Replace the lightbulb and if issues continue, further evaluation by a licensed electrician is required.

### **Comment 46**

#### **Electrical Sub Panel: Branch Circuit Wiring**

A neutral conductor was connected to the grounding bus bar in the garage subpanel. All neutral conductors must be connected together and isolated from the grounds in a sub panel. This is an electrical safety hazard and repair is required by licensed electrician.

### **Comment 58**

#### **HVAC: Cooling: Cooling System Function**

A qualified HVAC contractor is recommended to evaluate the second-floor air-conditioning system. Rust/corrosion was visible on the evaporator coil which could lead to leaking refrigerant.

The blower motor door insulation was loose and being pulled into the unit.

Condensation was leaking from the secondary drain line which could be a sign the primary is clogged.

The air temperature discharge was not as low as a typical properly functioning system. The thermostat temperature increased during the inspection.

### **Comment 61**

#### **Plumbing: Fixtures**

There were active leaks at the multiple sink drain lines. Repair by licensed plumber is recommended to prevent damage to the base cabinet.

### **Comment 64**

#### **Plumbing: Fixtures**

The master bathroom toilet would not properly flush. It appeared to be clogged. Further evaluation is recommended by a qualified plumber.

### **Comment 66**

#### **Plumbing**

A qualified well contractor is recommended to evaluate the well pressure tank supply lines. An active leaking was observed.

### **Comment 69**

#### **Plumbing: Water Heater**

Seal the water heater vent pipe and escutcheon on the exterior the home to prevent water entry.

### **Comment 70**

#### **Kitchen: Sink**

The washer and slip nut is missing at the kitchen sink drain line. Repair is required to prevent water leaking into the base cabinet.

Throughout this report, you may find references to the North Carolina Building Code and its many parts, the National Electric Code (NEC), Manufacturer's Instructions, American Society for Testing and Materials (ASTM) standards, International Plumbing Code (IPC), or other codes or documents. We use these items as a reference to understand the minimum standards to which structures and their components should be built, altered, installed, etc.

It is important to remember that as NC Licensed Home Inspectors, we use the code for reference, BUT, we are NOT Code Inspectors. The difference is that we have no authority to Enforce Code. We can only make suggestions and observations. There may be local exceptions and variations that may be in place that we have no control of nor access to.

**Inspector's Signature**



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**Property Type**

Single Family

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**Year Built**

Age based on listing, 2005

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**Occupied**

No

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**Stories**

Two

---

**Weather**

Sunny

---

**Temperature**

90°

---

**Soil Condition**

Dry

---

**Utilities On During Inspection**

Electric Service, Natural Gas Service, Water Service, LP Gas Service

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**People Present**

Client, Buyer's Agent

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

**Site Grading**

Inspected

Condition: Item of Improvement

**Vegetation**

Inspected

Condition: Item of Improvement

**Comment 1  
Information**

All vegetation should be cut back from the exterior cladding materials at least 12 inches to allow air movement and drying capabilities of the cladding and foundation. This helps prevent possible deterioration from excess moisture and possible foundation settlement.



**Comment 2  
Information**

Tree roots create issues with foundations, footing and other structural elements.



**Driveway**

Inspected

Condition: Satisfactory

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**Walkways**

Inspected

Condition: Satisfactory

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**Steps/Stoops**

Inspected

Condition: Item of Improvement

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**Patios**

Inspected

Condition: Item of Improvement

**Comment 3**

**Deficiency**

The front porch, back porch and back porch steps lack proper guardrails and a graspable handrail. Building guidelines require that every open portion of a stair, landing, balcony, porch, deck, ramp or other walking surface which is more than 30 inches above the floor or grade below shall have guardrails with spindle/baluster spacing no greater than 4" apart. Any stair system with 4 or more risers is required to have a graspable hand rail. The bottom stair riser is greater than allowed by building requirement. This is a fall safety hazard and installing guardrails with a graspable hand rail on each side is recommended.





The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

**Exterior Covering**

Stucco, Fiber Cement

Condition: Item In Need Of Repair/Replacement

**Comment 4  
Deficiency**

A section of stone veneer has become detached/on the front right left of the home. Repair is recommended by a qualified masonry contractor. The stone is detached on the foundation wall. Therefore, there is no risk of water entry at this location.



**Comment 5  
Information**

Sealing the joint between the siding and exterior trim on the left front corner of the home is recommended. Additionally, there appeared to be damage caused by pests to the frieze board at the same location and repair/sealing. The exposed material is recommended.



**Comment 6**  
**Information**

Adhered masonry stone/manufactured stone veneer cladding has been installed on this home. An inspection of the visible components suggests that the cladding system may not have been installed in such a way as to ensure that the cladding is a weather-resistant system that protects the wall assembly from excessive water penetration, condensation, and or water accumulation. Typical weep screed, flashing, sealant, and clearance installation details could not be verified by visual inspection. The lack of proper detailing is conducive to condensation and water penetration behind the stone cladding and possible hidden damage in the wall assembly. The installation of the stone cladding should be evaluated by a licensed general contractor and repaired as needed to correct any possible water penetration issues and to verify that the stone cladding is installed to the specific installation requirements of the North Carolina State Building Code: Residential Code and /or the Masonry Veneer Manufacturer's Association (MVMA or NCMA).

<http://www.masonryveneer.org/> or <https://ncma.org/resource/msv-installation-guide/>

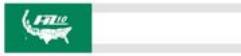
Please note that because the water resistive barrier, metal lath, and base coat(s) of cement stucco are completely concealed behind the adhered masonry stone veneer cladding, they cannot be evaluated by a visual inspection.

\*This information is recommended by the NCHILB to be inserted on any home with adhered stone veneer that is not installed using current building guidelines and does not necessarily mean there is a moisture entry problem with this home.

**Comment 7**  
**Deficiency**

The fiber cement panels, installed on the exterior gable walls lack Z-flashing at the band board. The manufacturer requires a-flashing to be installed at all horizontal joints to prevent possible water entry into the seam. Properly installing Z-flashing is recommended.





**BATTEN BOARDS**

**HORIZONTAL PANEL JOINTS**

All horizontal panel joints. HardieTrim battens must be installed according to option 1 or 2 below. When installing HardieTrim Battens horizontally, they must be installed as a panel joint according to option 2.

Figure 17

**Option 1**

Figure 17 - No horizontal band board - Make a 22.5 - 45 degree weather cut, in the HardieTrim batten, just above the 1/4 in. clearance between panels.

**Option 2**

Figure 18 - Horizontal Band Board - Install a horizontal band board at the top of the bottom panel. Butt the lower batten to the band board and start the top batten at the bottom edge of the top panel. Maintain a 1/4 in. clearance above horizontal flashing.

**Exterior Trim Material**

Wood, Composite

Condition: Item of Improvement

**Comment 8**

**Deficiency**

The garage entry door jamb and corner trim to the left of the front door had moisture damage. Repair is recommended by a qualified professional to prevent additional moisture entry and further deterioration or possible water entry. .



**Windows**

Inspected

Condition: Item of Improvement

**Comment 9  
Information**

Inspecting hermetic seals between window panes is beyond the scope of a NC home inspector and any comments are provided at a courtesy.

**Comment 10  
Information**

Inspecting hermetic seals between window panes is beyond the scope of a NC home inspector and any comments are provided at a courtesy.

**Comment 11  
Information**

Current guidelines require any window with a sill lower than 24" to the finish floor on the interior side but is greater than 6' feet above grade on exterior side to have sash limits installed. This is a safety device to prevent children from possibly opening and falling out of the window. While it may not have been a requirement at the time this home was built, it is a safety hazard and installing sash limits is recommended. (Photo is example and may not be inclusive of all windows)



**Entry Doors**

Inspected

Condition: Item of Improvement

**Comment 12**  
**Information**

The front entry door needs adjustment in order for the strike to close/latch properly.



**Fixed Exterior Light By Entry Door**

Present

Condition: Satisfactory

**Porch Column Type**

Composite

Condition: Item of Improvement

**Comment 13**  
**Information**

A qualified professional is recommended to repair the missing capital trim on the right front porch post. Cosmetic.



**Porches**

Inspected

Condition: Item of Improvement

**Comment 14**  
**Information**

The back porch screen is damaged in several location. Screen enclosure is beyond the scope of a NC Licensed Home Inspector, therefore any comments are made at a courtesy.

**Exterior Comments**

**Comment 15**  
**Deficiency**

The damper on the left front exhaust vent is missing and should be replaced to prevent pest entry. The vent was full of wasp nests. Repair is recommended by a qualified contractor.



# Garage

## Door Opener

Inspected

Condition: Satisfactory

## Opener Safety Feature

Not Inspected

### Comment 16 Information

The safety features were not tested due to a vehicle/personal items being stored in the garage. Testing the safety feature can lead to possible damage of the door or its components.

## Garage Comments

### Comment 17 Information

General Garage Picture(s)



**Comment 18**

**Deficiency**

Signs of termites were visible in the garage. Contact a licensed pest company for treatment if the current owners cannot provide proof of previous treatment.



The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

## Inspection Method

Walked Roof/Arms Length

## Roof Covering

Dimensional/Architectural Asphalt Composite

Condition: Further Evaluation Required

### Comment 19

#### Deficiency

A license roofing contractor is recommended to perform a full evaluation of the roof, covering due to active leaks and multiple moisture stained areas of the ceiling observed at the time of the inspection.





**Approximate Roof Age**

18 yrs

**Ventilation Present**

Soffit, Ridge Vents

Condition: Satisfactory

**Vent Stacks**

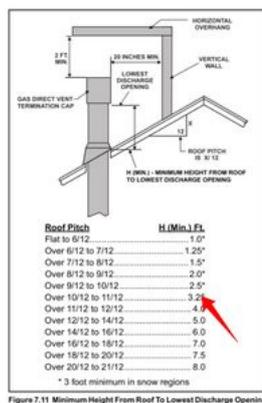
Metal, Neoprene boots

Condition: Further Evaluation Required

**Comment 20**

**Deficiency**

The gas fireplace vent does not have the proper clearance from the roof covering per building guidelines. A qualified fireplace contractor is recommend for evaluation and repair.



**Comment 21**  
**Deficiency**

Exposed fastener heads on the roof could lead to water intrusion and damage to surrounding components. Seal all exposed heads with the appropriate roofing sealant.



**Chimney**

Metal

Condition: Item In Need Of Repair/Replacement

**Comment 22**  
**Deficiency**

The metal chimney chase, where it penetrates the attic, requires a draft stop or thimble. This is required to reduce debris entry, conditioned air loss, and is used as a fire stop. Repair by qualified fireplace technician is required.



**Flashings**

Metal

Condition: Item of Improvement

**Comment 23**  
**Information**

The roof lacks kick out flashing. Flashing is required to be installed where the eave of a sloped roof intersects a vertical sidewall. The kick out flashing should divert water away from where the eave abuts the cladding to prevent possible moisture entry or premature deterioration of materials. This may not have been required at the time of construction, however it is required by current building guidelines and recommended to have installed. Have a licensed roofing contractor evaluate and install proper flashing at any similar locations.



**Soffit and Fascia**

Wood, Composite

Condition: Item of Improvement

**Gutters & Downspouts**

Metal

Condition: Item of Improvement

**Comment 24**  
**Information**

Gutter downspouts should direct water away from the foundation at least 6 feet to reduce the risk of water intrusion, soil erosion or foundation settlement/deterioration. If not currently installed, or if the grading does not promote proper runoff, adding corrugated extensions to the downspouts is recommended.

**Comment 25**  
**Information**

Gutter downspouts should direct water away from the foundation at least 6 feet to reduce the risk of water intrusion, soil erosion or foundation settlement/deterioration. If not currently installed, or if the grading does not promote proper runoff, adding corrugated extensions to the downspouts is recommended.

**Comment 26**  
**Information**

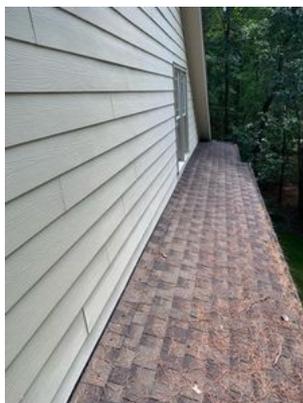
The gutters, in multiple locations, were filled with debris which will prevent water from exiting into the downspouts. This could cause water runoff in areas that could present moisture problems. Cleaning out the gutters and ensuring functional flow out of the downspouts is recommended.



**Roofing Comments**

**Comment 27**  
**Information**

General Roof Photo(s)





**Comment 28**  
**Information**

There was debris from trees and surrounding vegetation on the roof. This can allow water to back up under the roofing materials and could lead to water entry and damage to surrounding components. Removal of the debris is recommended.



The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

### Foundation Types

Crawl Space

### Foundation Material

Poured Concrete, Concrete Block

Condition: Item In Need Of Repair/Replacement

#### Comment 29 Deficiency

A licensed structural engineer is required to evaluate multiple areas of the home's structure. Tree roots have compromised the foundation on the left side of the home. Roots were visible in the crawlspace. Soil heaving was observed. Settlement was present on the foundation stemwall and diagonal cracks were visible in the wall structure above this location.

#### Comment 30 Deficiency

The screened in back porch appears to be an addition. The structural engineer is recommended to evaluate this installation as it is not built according to standard constructive practices and could compromise the integrity of the structure in this location. Settlement was observed on the interior of the home at this location.

#### Comment 31 Information

Additional settlement crack

### Signs of Water Penetration

Stains, Mildew

Condition: Item In Need Of Repair/Replacement

#### Comment 32 Information

Water entry at garage stem-wall due to improper grading.

### Floor Structure

Wood Frame

Condition: Further Evaluation Required

**Subflooring**

Oriented Strand Board

Condition: Further Evaluation Required

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**Wall Structure**

Not visible

Condition: Unable to Inspect

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**Ceiling Structure**

Ceiling/floor structure between levels of the home was unable to be inspected.

Condition: Unable to Inspect

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**Attic**

**Attic Entry**

Inspected

Condition: Satisfactory

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**Roof Framing Type**

Joist and Rafters

Condition: Satisfactory

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**Roof Deck Material**

Oriented Strand Board

Condition: Further Evaluation Required

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**Vent Risers**

Metal, PVC, Plastic Flex

Condition: Satisfactory

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**Insulation**

Blown In Fiberglass, Fiberglass Batts

Condition: Satisfactory

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**Attic Inspected**

Inside

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**Fixed Light And Receptacle**

Yes

Condition: Satisfactory

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**Maintenance Platform**

Yes

Condition: Satisfactory

**Attic Comments**

**Comment 33  
Information**

General Attic Photo(s)





**Comment 34**  
**Information**

Portions of the attic were unable to be inspected due to access restrictions due to mechanical equipment, roof geometry or personal belongings hindering visibility.

## Crawlspace

**Inspection Method**

Inside

**Vapor Retarder**

Partial

Condition: Item In Need Of Repair/Replacement

**Underfloor Insulation**

Fiberglass Batts

Condition: Item In Need Of Repair/Replacement

**Ventilation Present**

Yes

Condition: Item of Improvement

**Comment 35**

**Deficiency**

The foundation vents at multiple locations are below the exterior grade. This allows water to enter the crawlspace and prevents proper ventilation. Installing foundation vent wells and properly grading is recommended.



**Moisture Condition**

Wet

Condition: Item In Need Of Repair/Replacement

**Crawlspace Comments**

**Comment 36**

**Deficiency**

A qualified contractor is recommended to evaluate multiple areas of active water entry into the crawlspace, elevated moisture levels on the floor, structure, wet/damaged/missing insulation. An invasive evaluation is recommended to determine the extent of any moisture damage.





**Comment 37**  
**Information**

General Crawlspace Photo(s)



The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

**Type of Service**

Underground

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**Main Disconnect Location**

Service Panel

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**Service Panel Location**

Exterior

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**Service Panel Manufacturer**

Eaton

Condition: Satisfactory

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**Service Entrance Material**

Stranded Aluminum

Condition: Satisfactory

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**Service Voltage**

240 volts

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**Service Amperage**

200 amps

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**Service Panel Ground**

Ground Rod

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**Branch Circuit Wiring**

Non-Metallic Shielded Copper, Stranded Aluminum

Condition: Satisfactory

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**Overcurrent Protection**

Breakers

Condition: Satisfactory

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**Smoke Detectors**

Hard Wired Interconnected

Condition: Item In Need Of Repair/Replacement

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**Comment 38  
Information**

Smoke detectors should be replaced every 10 years and tested monthly.

**Comment 39  
Information**

Smoke detectors should be replaced every 10 years and tested monthly.

**Comment 40  
Deficiency**

Hardwired smoke alarms are required to be connected to the home's electrical system and should set off every alarm in the home when tested. The master bedroom alarm failed to set off all other alarms and need evaluation/repair or replacement by a licensed electrician to ensure all alarms are properly connected. This is a fire safety hazard.

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**Carbon Monoxide Detectors**

No

Condition: Item In Need Of Repair/Replacement

**Comment 41  
Deficiency**

It is required to install at least one carbon monoxide detector in this home. Current guidelines require at least one carbon monoxide alarm in any home with a fuel fired system or with an attached garage. This is a safety hazard.

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**Electrical Comments**

**Comment 42  
Information**

General Electrical Service Panel Picture(s)

## Electrical Fixtures

**Receptacles**

Inspected

Condition: Satisfactory

**Lights/fans**

Inspected

Condition: Item In Need Of Repair/Replacement

**Comment 43**

**Deficiency**

Multiple 3-way switches were not functioning properly. They would not not switch on/off in any position as a properly wired 3-way switch should. Evaluation and repair by a licensed electrician is required.

**Comment 44**

**Deficiency**

Multiple light fixtures would not illuminate using standard operating controls/switches. Replace the lightbulb and if issues continue, further evaluation by a licensed electrician is required.

**Comment 45**

**Information**

The exterior flood lights were on motion detectors and unable to be tested.

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**GFCI Receptacles**

Inspected

Condition: Satisfactory

## Sub Panel Location

Garage

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## Sub Panel Manufacturer

Cutler-Hammer

Condition: Satisfactory

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## Sub Panel Feeder Material

Stranded Aluminum

Condition: Satisfactory

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## Sub Panel Amperage

200 amps

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## Branch Circuit Wiring

Non-Metallic Shielded Copper, Stranded Copper, Stranded Aluminum

Condition: Item In Need Of Repair/Replacement

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### Comment 46

#### Deficiency

A neutral conductor was connected to the grounding bus bar in the garage subpanel. All neutral conductors must be connected together and isolated from the grounds in a sub panel. This is a electrical safety hazard and repair is required by licensed electrician.

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## Overcurrent Protection

Breakers

Condition: Satisfactory

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## GFCI/AFCI Breakers

Partial

Condition: Item of Improvement

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### Comment 47

#### Information

AFCI breakers are required by current guidelines for ALL branch circuits in habitable rooms, excluding wet areas which require GFCI protection. AFCI breakers were only required in bedroom lighting circuits when this home was constructed, but do provide protection against arcing currents that have the potential to initiate electrical fires. Consult a licensed electrician about installing AFCI circuit breakers as required.

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Electrical Sub Panel Comments

**Comment 48**  
**Information**

General Photo(s) of the Sub Panel(s)

The heating and cooling components in this home's HVAC system are tested using normal operating controls and visual methods. However, due to their concealment, all portions of the heat exchanger, evaporator coil, coil drain pan, outdoor condenser components and interior insulation liner are unable to be fully inspected. A licensed mechanical contractor is the only person that can perform disassembly which would be needed to evaluate the condition and function of all components.

## HVAC System Type

Central Split System, Package Unit

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## Thermostat

Inspected

Condition: Satisfactory

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## Heating And Cooling In Each Habitable Room

Yes

Condition: Satisfactory

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## Air Filter

Disposable

Condition: Satisfactory

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## Number Of Units

Two

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## Shutoff

Within sight and sized correctly

Condition: Satisfactory

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## Type Of Distribution

Metal Ductwork, Flex Ductwork

Condition: Satisfactory

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### Comment 49 Information

Ductwork within wall cavities, under insulation or other concealed areas are unable to be inspected.

### Comment 50 Information

Ductwork within wall cavities, under insulation or other concealed areas are unable to be inspected.

HVAC Comments

**Comment 51  
Information**

HVAC outdoor combo unit photo(s)

6/2020

5 ton

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. Furnace heat exchangers can fail at any time. A licensed HVAC contractor should be consulted if in question.

**Location**

Attic

**Type of Equipment**

Forced Air, Heat Pump, Natural Gas/LP Furnace

**Manufacturer**

Trane, Maytag

**Heating Fuel**

Electric, Gas

Condition: Satisfactory

**Approximate Age**

18 yrs (2nd floor)

**Comment 52  
Information**

Heat pumps and AC systems typically have a useful life of 12 to 15 years. While age in and of itself is not a defect, the appliance is beyond its useful life and evaluation by a licensed HVAC contractor is recommended.

**Heating Inspection Method**

Panels removed

**Heating System Function**

System functioned properly at the time of inspection

Condition: Satisfactory

**Comment 53  
Information**

The 2nd floor heat pump was not tested due to outside temperatures being above 75° at the time of inspection, which is safe working temperature for heating equipment.

**Comment 54  
Information**

1st floor:

Approximate discharge temp. These temp readings are approximates and are simply to show if cool/warm air is discharging from the register.

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**Heating Comments**

**Comment 55  
Information**

General Heat Pump/air handler Photos: 2nd floor

4/2005

Furnaces over 10 years old are recommended to be serviced annually by a licensed contractor.

## Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

**Energy Source**

Electric

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**Type of Equipment**

Split System

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**Condenser Make**

Trane, Maytag

**Condensate Drainage**

To Exterior

Condition: Item of Improvement

**Comment 56  
Information**

It is recommended to discharge hvac condensate lines away from foundations, basements or other areas that could cause ponding, erosion and/or leakage. Primary hvac condensate lines should not terminate greater than 6” above grade and no closer than 12” to the foundation to prevent moisture related issues. Properly extending the condensate line is recommended.

**Cooling System Function**

Further evaluation required

Condition: Satisfactory

**Comment 57  
Information**

1st floor

Approximate discharge temp. These temp readings are approximates and are simply to show if cool/warm air is discharging from the register.

The thermostat did reach the set temperature.

**Comment 58  
Deficiency**

A qualified HVAC contractor is recommended to evaluate the second-floor air-conditioning system. Rust/corrosion was visible on the evaporator coil which could lead to leaking refrigerant.

The blower motor door insulation was loose and being pulled into the unit.

Condensation was leaking from the secondary drain line which could be a sign the primary is clogged.

The air temperature discharge was not as low as a typical properly functioning system. The thermostat temperature increased during the inspection.

Cooling Comments

**Comment 59**  
**Information**

Condenser photo(s): 2nd floor

1.5 ton

1/2005

**Comment 60**  
**Information**

Your 2nd floor HVAC system contains R22 refrigerant. As of January 1, 2020, production and import of R22 refrigerant is be illegal in the United States. Of course, continued use of your air conditioner (AC) or heat pump system using R22 refrigerant is allowed. However, it does mean that if your AC or heat pump system needs a repair that involves this type of refrigerant, it may be difficult and/or expensive to repair.

Air conditioners over 10 years old and heat pumps over 5 years old are recommended to be serviced annually by a licensed contractor.

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

## Supply Pipe Material

PEX, CSST (Gas), Steel (Gas)

Condition: Satisfactory

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## Location of Main Water Shutoff

Laundry room

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## Waste Pipe Material

PVC

Condition: Satisfactory

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## Fixtures

Inspected

Condition: Item In Need Of Repair/Replacement

### Comment 61

#### Deficiency

There were active leaks at the multiple sink drain lines. Repair by licensed plumber is recommended to prevent damage to the base cabinet.

### Comment 62

#### Information

The master shower head orifices are clogged due to buildup. Be mindful that this can interfere with the valve cartridge of the shower, and may require repair or replacement.

### Comment 63

#### Information

The Jacuzzi tub motor, GFCI receptacle and other components were unable to be inspected due to the access panel being painted shut.

### Comment 64

#### Deficiency

The master bathroom toilet would not properly flush. It appeared to be clogged. Further evaluation is recommended by a qualified plumber.

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## Hose Bibs

Inspected

Condition: Satisfactory

## Fuel Storage Location

Right Exterior

Condition: Satisfactory

### Comment 65 Information

There is both propane and natural gas.

## Plumbing Comments

### Comment 66 Deficiency

A qualified well contractor is recommended to evaluate the well pressure tank supply lines. An active leaking was observed.

Buildings that are unoccupied or minimally occupied can have sewage issues arise due to blockage that may not be observed at the time of the inspection. Once solids are routinely deposited into the sewer system, roots or other blockages may become evident. If the home has been minimally occupied/vacant, having the sewer lines scoped is recommended. Hidden blockages are difficult to diagnose even with all fixtures being tested.

## Water Heater

### Manufacturer

Rinnai

### Fuel

Natural Gas

### Capacity

Tankless

### Approximate Age

12/2014

### Temp & Pressure Relief Valve

Present Without Blow Off Leg

Condition: Item of Improvement

**Comment 67**  
**Information**

Water heater temp and pressure relief valve blow off leg is required to terminate no more than 6" above the drain/floor to prevent injury during a pressure relief situation. Extend the blow off leg as required.

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**Fuel Disconnect**

Within Sight of Equipment

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**Water Heater Comments**

**Comment 68**  
**Information**

General Water Heater Photo(s)

**Comment 69**  
**Deficiency**

Seal the water heater vent pipe and escutcheon on the exterior the home to prevent water entry.

## Cabinets

Inspected

Condition: Satisfactory

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## Countertops

Inspected

Condition: Satisfactory

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## Sink

Inspected

Condition: Item of Improvement

### Comment 70 Deficiency

The washer and slip nut is missing at the kitchen sink drain line. Repair is required to prevent water leaking into the base cabinet.

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## GFCI

Yes

Condition: Satisfactory

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## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

## Oven

Inspected

Condition: Satisfactory

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## Cooktop

Inspected

Condition: Satisfactory

### Comment 71 Information

## Range Hood

Not Present

### **Refrigerator**

Inspected

Condition: Satisfactory

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### **Dishwasher**

Completed a full cycle and drained

Condition: Satisfactory

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### **Microwave**

Inspected

Condition: Satisfactory

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### **Disposal**

Not Present

The Inspector completes a visual inspection only of readily accessible readily visible portions of built-in appliances. Built-in appliances were operated according to normal operating controls. Diagnostic testing is beyond to scope of a North Carolina Home Inspection and was not performed. Pait Home Inspections of North Carolina, LLC. cannot predict future conditions or longevity of appliances; the inspection is representative of the performance of the appliance at the date/time of the inspection only. Appliances and accessories that are not considered built-in appliances may be present at this property and are beyond the scope of a North Carolina Home Inspection. Such items may include but are not limited to: clothes washer, clothes dryer, refrigerator, mini-refrigerators, ice makers, countertop microwaves, toaster ovens, TVs, window air conditioners, free standing air conditioners, humidity control devices, central vacuums, etc. While these items may be documented as a courtesy to you, they are not operated or inspected, and are excluded from this inspection. Requesting a detailed homeowner disclosure regarding the status of and maintenance history of any such non-built-in appliances as well as evaluation by qualified technician should be considered.

## Laundry Sink

Inspected

Condition: Satisfactory

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## Dryer Venting

To Exterior

Condition: Satisfactory

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## GFCI Protection

No

Condition: Item of Improvement

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### Comment 72 Information

All laundry room receptacles should be GFCI protected to reduce the risk of electrical shock. A licensed electrician should replace the existing receptacle with a GFCI protected outlet. It was not required at the time this home was built, however it is recommended.

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## Laundry Hook Ups

Yes

Condition: Satisfactory

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## Laundry Comments

### Comment 73 Information

Dryer vents concealed within or behind wall cavities, insulation or other visible constraints are unable to be inspected.

### Comment 74 Information

Dryer vents concealed within or behind wall cavities, insulation or other visible constraints are unable to be inspected.

### Comment 75 Information

Previous leak laundry room. All areas were dry at the time of inspection.

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

### Fireplace

Manufactured, Gas Burning

Condition: Unable to Inspect

#### **Comment 76 Information**

All fireplaces, chimneys and fuel burning stoves should be inspected by a certified technician before their first use and annually to ensure safety and proper function.

#### **Comment 77 Information**

All fireplaces, chimneys and fuel burning stoves should be inspected by a certified technician before their first use and annually to ensure safety and proper function.

#### **Comment 78 Information**

Unable to inspect the fireplace function due to the gas valve being in the off position.

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### Interior Stairs

Inspected

Condition: Satisfactory

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### Interior Comments

#### **Comment 79 Information**

Multiple interior doors need repair/adjustment in order to shut/function properly. (Photos are examples and not inclusive of all locations.)

#### **Comment 80 Information**

The ceiling/walls in multiple rooms had nail pops, corner bead and/or tape joint cracks. (cosmetic) (

Cosmetic issues are beyond the scope of a North Carolina home inspector and therefore are provided as a courtesy.

**Comment 81**  
**Information**

Misc. additional photos

Acceptance and or use of this inspection report binds the client to the terms of the Home Inspection Contract.

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection and not a prediction of future conditions. It is a snapshot in time. A general home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

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