



Pait Home Inspections of North Carolina, LLC

75 Kristopher Woods Dr.

Youngsville, NC 27596

(919) 675-4095

paitinspections.com

stephen@paitinspections.com

Inspected By: Stephen Pait Lic # 4329



Home Inspection Report

Prepared For:

Builder's Warranty Inspection

Property Address:

123 ABC St.

Zebulon, NC 27597

Inspected on Mon, Jul 15 2019 at 10:05 AM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Major Defect: A condition of a system or component that renders it nonworking, non-performing, non-functioning or unsafe, and requires a professional contractor to further evaluate and repair, correct or replace.

Minor Defect: A condition of a system or component that renders it nonworking, non-performing, or non-functioning, and may be repaired, corrected or replaced by a professional contractor or the homeowner.

Cosmetic Defect: A superficial flaw or blemish in the appearance of a system or component that does not interfere with its safety or functionality.

Item to Monitor: An item that is not yet non-working, broken, nor unsafe but should be inspected periodically to ensure proper function.

All directional references in the report are based on standing in the street, facing the front door.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Roof Covering

- 1) In multiple locations, roof shingles are torn or have nail pops. This could lead to water intrusion. Replace/seal any and all damaged shingles and seal any exposed nail heads.
- 2) There are multiple roofing nails scattered on the roof covering in different locations. Over time, these nails will cause indentations and possible penetrations through the shingles and could develop water intrusion issues. Remove all loose fasteners to prevent damage.

Vent Stacks

- 3) The neoprene vent stack boot on the back slope is torn which will allow water to penetrate the roof surface and could deteriorate structural components. Replacing the neoprene boot is required by licensed contractor.
- 4) The roofing sealant around the rain collar of the furnace vent is loose and does not seal the collar properly. This will allow water to enter into the structure and possibly damage around and components. Re-seal the rain collar to prevent water intrusion.

Flashings

- 5) Reseal the front porch roof headwall flashing prevent water entry.
- 6) The kick out flashing on the back roof is installed improperly. The flashing should have an angle of approximately 110° in order to divert water away from the cladding and into the gutter. Repair/replace the flashing as needed for proper function.

Lights/fans

- 7) The 3-way switch to the stair light is not wired properly. It will not function in any position on both the downstairs and upstairs switch. Evaluation and repair by a licensed electrician is required.

(Report Summary continued)

HVAC: Cooling

8) There is excessive rust inside the attic air handler for a 1 yr old unit. There is water in the emergency overflow pan. Further evaluation and repair by a licensed HVAC technician is required.

9) The exterior HVAC condenser is not installed level/plumb. All condensers should be installed level and plumb to ensure proper function. Adjust the condenser pad as needed for this repair.

Fixtures

10) The master tub drains very slowly. Clean or repair as needed for proper function.

Interior

11) The laundry room door does not latch properly to the strike plate, which will not allow the door to lock properly. Adjust the door as needed for repair.

12) The ceiling/walls in several rooms are showing the beginning signs of nail pops corner bead and tape joint cracks, which over time could increase in size and/or become exposed. (cosmetic)

13) The ceiling in the upstairs living room shows possible active water stains. Further evaluation and repair by a licensed contractor is recommended.

General

Inspector's Signature:



Property Type:	Single Family
Stories:	Two
Approximate Age:	1 Yr
Bedrooms/Baths:	3BR/2.5BA
Weather:	Sunny
Temperature:	89°
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level Condition: Satisfactory
Vegetation:	Generally Maintained Condition: Satisfactory
Driveway:	Concrete Condition: Satisfactory
Walkways:	Concrete Condition: Satisfactory
Patios:	Concrete Condition: Satisfactory

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Vinyl Siding, Stone Condition: Satisfactory
Exterior Trim Material:	Vinyl, Composite Condition: Satisfactory
Windows:	Vinyl, Single hung, Double pane-Insulated glass Condition: Satisfactory
Entry Doors:	Fiberglass, Steel Condition: Satisfactory
Fence:	Wood Condition: Satisfactory



Comment 1:

Inspection of fencing is beyond the scope of a NC home inspector and therefore is done as a courtesy.

Fixed Exterior Light By Entry Door:	Condition: Satisfactory
Porches:	Concrete Condition: Satisfactory

Garage

Garage Type:	Attached Condition: Satisfactory
Garage Size:	2 Car
Door Opener:	Chain Drive Condition: Satisfactory
Opener Safety Feature:	Photo-electric sensor, Force Sensitive Condition: Satisfactory

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method: Walked Roof/Arms Length
Roof Design: Gable
Roof Covering: Dimensional composite
Condition: Minor Defect



Comment 2:

In multiple locations, roof shingles are torn or have nail pops. This could lead to water intrusion. Replace/seal any and all damaged shingles and seal any exposed nail heads.



Figure 2-1



Figure 2-2

(Roofing continued)



Figure 2-3



Figure 2-4



Figure 2-5

(Roofing continued)



Comment 3:

There a multiple roofing nails scattered on the roof covering in different locations. Over time, these nails will cause indentations and possible penetrations through the shingles and could develop water intrusion issues. Remove all loose fasteners to prevent damage.



Figure 3-1

Approximate Roof Age:

1 Yr

Ventilation Present:

Soffit, Ridge Vents

Condition: Satisfactory

Vent Stacks:

Metal, Neoprene boots

Condition: Minor Defect



Comment 4:

The neoprene vent stack boot on the back slope is torn which will allow water to penetrate the roof surface and could deteriorate structural components. Replacing the neoprene boot is required by licensed contractor.

(Roofing continued)



Figure 4-1



Figure 4-2



Comment 5:

The roofing sealant around the rain collar of the furnace vent is loose and does not seal the collar properly. This will allow water to enter into the structure and possibly damage around and components. Re-seal the rain collar to prevent water intrusion.



Figure 5-1

(Roofing continued)

Flashings:

Metal

Condition: Minor Defect



Comment 6:

Reseal the front porch roof headwall flashing prevent water entry.



Figure 6-1



Comment 7:

The kick out flashing on the back roof is installed improperly. The flashing should have an angle of approximately 110° in order to divert water away from the cladding and into the gutter. Repair/replace the flashing as needed for proper function.

(Roofing continued)



Figure 7-1

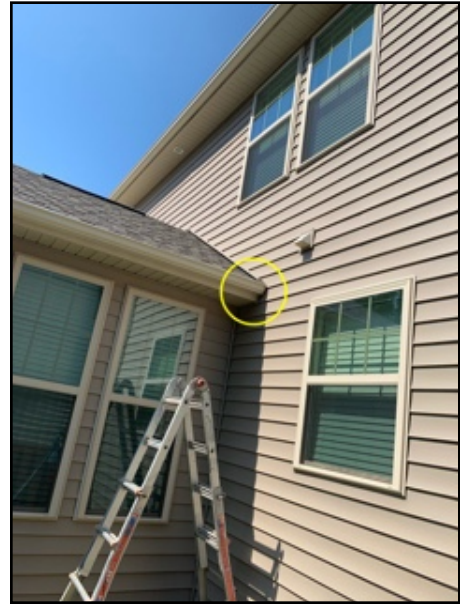


Figure 7-2

Soffit and Fascia:

Aluminum, Vinyl

Condition: Satisfactory

Gutters & Downspouts:

Metal

Condition: Satisfactory

(Roofing continued)



Comment 8:
General Roof Photo(s).



Figure 8-1



Figure 8-2



Figure 8-3

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Slab on Grade

Foundation Material:

Poured Concrete

Condition: Satisfactory

Wall Structure:

Unable to inspect

(Structure continued)

Attic

Attic Entry:	Upstairs hallway Condition: Satisfactory
Roof Framing Type:	Wood Trusses Condition: Satisfactory
Roof Deck Material:	Oriented Strand Board Condition: Satisfactory
Vent Risers:	Metal, PVC Condition: Satisfactory
Insulation:	Blown In Fiberglass, Fiberglass Batts Condition: Satisfactory
Attic Inspected :	Inside Condition: Satisfactory
Fixed Light And Receptacle:	Yes Condition: Satisfactory
Maintenance Platform:	Yes Condition: Satisfactory

(Attic continued)



Comment 9:
General Attic Photo(s).



Figure 9-1



Figure 9-2



Figure 9-3

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Service Panel
Service Panel Location:	Garage
Service Panel Manufacturer:	Eaton
	Condition: Satisfactory
Service Entrance Material:	Stranded Aluminum
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps
Service Panel Ground:	Ground Rod
Branch Circuit Wiring:	Non-Metallic Shielded Copper, Stranded Aluminum
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory
GFCI/AFCI Breakers:	Yes
	Condition: Satisfactory
Smoke Detectors:	Hard Wired Interconnected
	Condition: Satisfactory
Carbon Monoxide Detectors:	Yes
	Condition: Satisfactory

(Electrical continued)



Comment 10:
General Electrical Panel Picture(s).

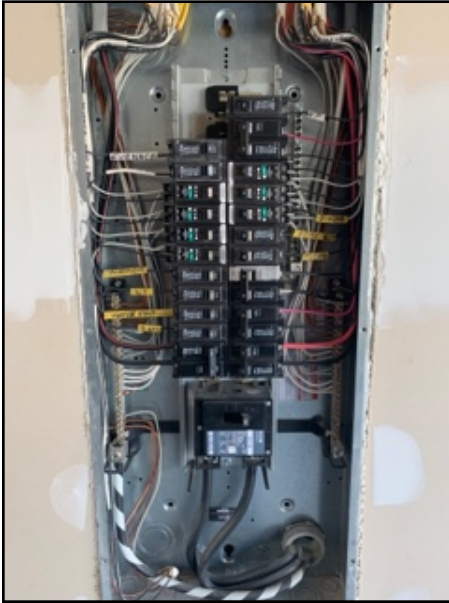


Figure 10-1

Electrical Fixtures

Receptacles:

Grounded

Condition: Satisfactory

Lights/fans:

Condition: Further Evaluation Required



Comment 11:

The 3-way switch to the stair light is not wired properly. It will not function in any position on both the downstairs and upstairs switch. Evaluation and repair by a licensed electrician is required.

(Electrical Fixtures continued)

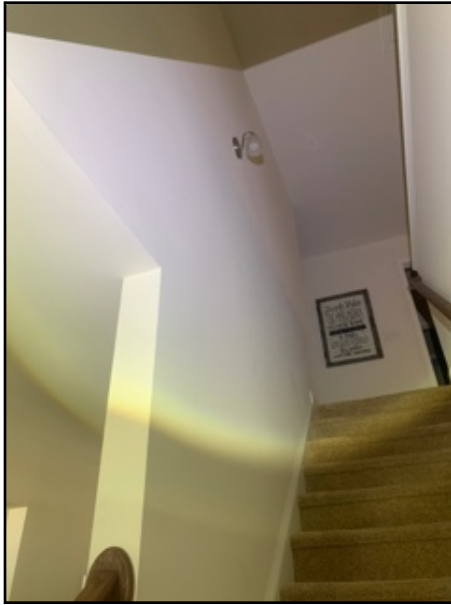


Figure 11-1

GFCI Exterior Receptacles :	Present
	Condition: Satisfactory
GFCI Interior Receptacles:	Kitchen, Bathroom, Garage , Laundry room
	Condition: Satisfactory

HVAC

HVAC System Type:	Central Split System
Heating And Cooling In Each Habitable Room:	Yes
Condition:	Satisfactory
Number Of Units:	One
Condition:	Satisfactory

(HVAC continued)

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Attic
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Lennox
Heating Fuel:	Gas
	Condition: Satisfactory



Comment 12:
Gas shutoff location for furnace(s).



Figure 12-1

Approximate Age:	1 Yr
Type of Distribution:	Flexible Ducting
	Condition: Satisfactory
Heating Inspection Method:	Panels removed
	Condition: Satisfactory

(Heating continued)



Comment 13:

The furnace/heat pump was not tested due to outside temperatures being above 65° at the time of inspection, which is safe working temperature for heating equipment.

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Satisfactory
Condenser Make:	Lennox
Condensor Size:	42,000 BTU (3.5 Tons)
Condenser Approximate Age:	1 Yr
Condesate Drainage:	To Exterior
	Condition: Satisfactory
AC Supply Air Temp:	57°
AC Return Air Temp:	70°



Comment 14:

There is excessive rust inside the attic air handler for a 1 yr old unit. There is water in the emergency overflow pan. Further evaluation and repair by a licensed HVAC technician is required.

(Cooling continued)



Figure 14-1



Figure 14-2



Figure 14-3



Figure 14-4

(Cooling continued)



Comment 15:

The exterior HVAC condenser is not installed level/plumb. All condensers should be installed level and plumb to ensure proper function. Adjust the condenser pad as needed for this repair.



Figure 15-1



Figure 15-2

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

- | | |
|---------------------------------|--------------------------------|
| Supply Pipe Material: | PEX
Condition: Satisfactory |
| Location of Main Water Shutoff: | Kitchen pantry |
| Waste Pipe Material: | PVC
Condition: Satisfactory |
| Fixtures : | Condition: Minor Defect |

(Plumbing continued)



Comment 16:

The master tub drains very slowly. Clean or repair as needed for proper function.



Figure 16-1

Hose Bibs:

Anti siphon valve , Frost-proof valve

Condition: Satisfactory

Fuel Storage Location:

Right exterior

Condition: Satisfactory

Water Heater

Manufacturer:

State

Fuel:

Electric

Capacity:

50 gal

Approximate Age:

2 Yrs

(Water Heater continued)



Comment 17:

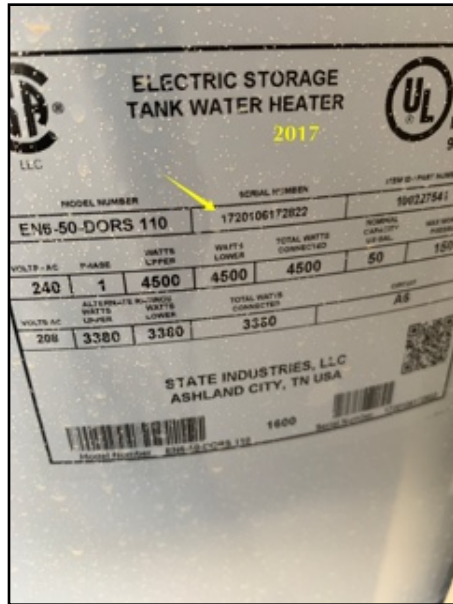


Figure 17-1

Temp & Pressure Relief Valve:

Present With Blow Off Leg

Fuel Disconnect:

Condition: Satisfactory

Thermal Expansion Tank:

Within Sight of Equipment

Present and supported

Condition: Satisfactory

(Water Heater continued)



Comment 18:
General Water Heater Picture(s).



Figure 18-1

Bathrooms

Lighting Fixtures:	Working Condition: Satisfactory
GFCI Outlets:	Yes Condition: Satisfactory

Kitchen

Cabinets:	Wood, Laminated Condition: Satisfactory
Countertops:	Granite Condition: Satisfactory
Sink:	Double Condition: Satisfactory
GFCI :	Yes Condition: Satisfactory

(Kitchen continued)

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Condition: Satisfactory
Dishwasher:	Condition: Satisfactory
Microwave:	Condition: Satisfactory
Disposal:	Condition: Satisfactory
Anti-tip Bracket:	Condition: Satisfactory

Laundry

Dryer Venting:	To Exterior Condition: Satisfactory
GFCI Protection:	Yes Condition: Satisfactory
Laundry Hook Ups:	Yes Condition: Satisfactory
Light Fixture :	Yes Condition: Satisfactory

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.



Comment 19:

The laundry room door does not latch properly to the strike plate, which will not allow the door to lock properly. Adjust the door as needed for repair.

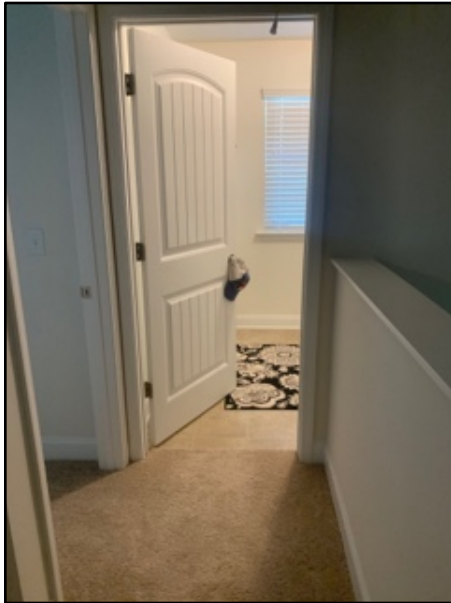


Figure 19-1



Comment 20:

The ceiling/walls in several rooms are showing the beginning signs of nail pops corner bead and tape joint cracks, which over time could increase in size and/or become exposed. (cosmetic)

(Interior continued)



Figure 20-1



Figure 20-2

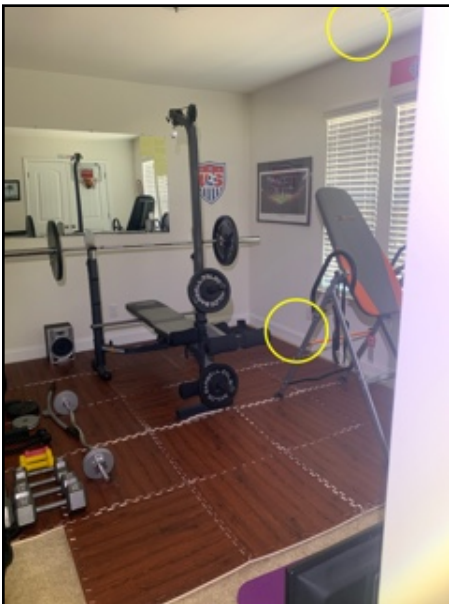


Figure 20-3



Figure 20-4

(Interior continued)



Figure 20-5



Figure 20-6



Comment 21:

The ceiling in the upstairs living room shows possible active water stains. Further evaluation and repair by a licensed contractor is recommended.



Figure 21-1

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection and not a prediction of future conditions. It is a snapshot in time. A general home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

This report is prepared only for the customer listed on the title page of this report. This report should not be used by any other person, company, or entity for use in a real estate transaction with this address, unless express written consent by Pait Home Inspections of North Carolina, LLC. Conditions to this home may have changed since this inspection report was generated. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Do not rely on old information regarding this property. If you would like to arrange a re-inspection, please contact us at (919) 675-4095.