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Home Inspection Report

Prepared For:

Unspecified Client

Property Address:

Wendell, NC 27591

Inspected on Sat, Apr 20 2019 at 1:25 PM

Table of Contents

Report Summary	5
General Comments	7
General	7
Site	7
Exterior	9
Garage	15
Roofing	16
Structure	18
Electrical	20
HVAC	23
Plumbing	27
Bathrooms	29
Kitchen	30
Laundry	32
Interior	33

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Major Defect: A condition of a system or component that renders it nonworking, non-performing, non-functioning or unsafe, and requires a professional contractor to further evaluate and repair, correct or replace.

Minor Defect: A condition of a system or component that renders it nonworking, non-performing, or non-functioning, and may be repaired, corrected or replaced by a professional contractor or the homeowner.

Cosmetic Defect: A superficial flaw or blemish in the appearance of a system or component that does not interfere with its safety or functionality.

Item to Monitor: An item that is not yet non-working, broken, nor unsafe but should be inspected periodically to ensure proper function.

All directional references in the report are based on standing in the street, facing the front door.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Exterior Covering

1) The flashing above the brick on the garage needs to be sealed to prevent water from running back toward the structure of the home. In addition one or more mortar joints need to be repointed to ensure a proper seal to prevent water intrusion.

Exterior Trim Material

2) The garage exterior header trim board needs additional fasteners installed to prevent sagging overtime, which could lead to water intrusion.

Entry Doors

3) The front exterior door deadbolt and/or door knob does not latch properly. Repair/replace as necessary.

4) The front door weatherstripping has become detached from the channel which makes it difficult for the front door to shut/ latch properly and over time will result in damage to the weatherstripping. Repair or replace the weatherstripping as needed.

Porches

5) Adding another coat of paint to the front porch columns is recommended to seal the composite material and prevent premature dry rot.

Gutters & Downspouts

6) Rainwater should be directed away from the home's foundation at least 6 feet. It is recommended to add gutter extensions at all necessary locations to avoid backflow of water to the foundation crawlspace which could create moisture problems.

(Report Summary continued)

Roofing

7) At the peak of the roof, the truss framing appears to be installed out of line. In two locations, the roof framing sticks out significantly beyond other sections of the roof. Further evaluation by a licensed contractor is recommended.

Electrical: Electrical Fixtures

8) Missing switch plate screw at back door.

Bathrooms

9) The master bathroom exhaust fan does power up when switch on by the light switch. Repair or replace as needed.

Range

10) The bottom storage door of the slide in range will not open or close.

11) The slide in range is wobbly which could lead to accidental spills. Adjust the slide in range feet so that it is level and firm.

Interior Stairs

12) A finish nail is protruding through the stair handrail at the stair rail cap. This could lead to an accidental cut or other injury. Ensure sure all fasteners are fully driven.

General Comments



Comment 1:

Cosmetic issues are beyond the scope of a North Carolina home inspector and therefore are provided at a courtesy.

General

Inspector's Signature:

Property Type:	Single Family
Stories:	Two
Approximate Age:	1 Yr
Bedrooms/Baths:	4/2.5
Door Faces:	Northeast
Occupied:	No
Weather:	Overcast
Temperature:	Cool
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Sloped Away From Structure Condition: Item to Monitor
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(Site continued)



Comment 2:

In the front of the house, the grading slopes back toward the structure. While there was no standing water at the time of inspection, this is an area to monitor for standing water during rainstorms. Additional drainage measures may be required.



Figure 2-1

Vegetation:	Generally Maintained Condition: Satisfactory
Driveway:	Concrete Condition: Satisfactory
Walkways:	Concrete Condition: Satisfactory

(Site continued)



Comment 3:
Item of note. Previous concrete repair to the front walkway.



Figure 3-1

Patios: Concrete
Condition: Satisfactory

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering: Brick, Vinyl Siding
Condition: Minor Defect



Comment 4:
The flashing above the brick on the garage needs to be sealed to prevent water from running back toward the structure of the home. In addition one or more mortar joints need to be repointed to ensure a proper seal to prevent water intrusion.

(Exterior continued)



Figure 4-1



Figure 4-2

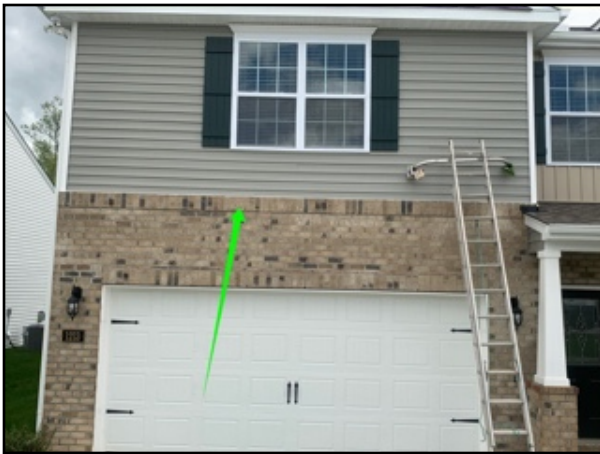


Figure 4-3

Exterior Trim Material:

Vinyl, Composite

Condition: Minor Defect



Comment 5:

The garage exterior header trim board needs additional fasteners installed to prevent sagging overtime, which could lead to water intrusion.

(Exterior continued)



Figure 5-1

Windows: Vinyl, Single hung
Condition: Satisfactory



Comment 6:

There are no window screens installed on multiple windows. Window screens are not required and are beyond the scope of North Carolina Home Inspector and therefore are inspected at a courtesy.

Entry Doors: Fiberglass
Condition: Minor Defect



Comment 7:

The front exterior door deadbolt and/or door knob does not latch properly. Repair/replace as necessary.

(Exterior continued)



Figure 7-1



Comment 8:

The front door weatherstripping has become detached from the channel which makes it difficult for the front door to shut/ latch properly and over time will result in damage to the weatherstripping. Repair or replace the weatherstripping as needed.



Figure 8-1

(Exterior continued)

Fixed Exterior Light By Entry Door:

Condition: Satisfactory

Porches:

Concrete, Brick

Condition: Satisfactory



Comment 9:

Adding another coat of paint to the front porch columns is recommended to seal the composite material and prevent premature dry rot.



Figure 9-1

(Exterior continued)



Comment 10:
General Elevation Picture(s):.



Figure 10-1



Figure 10-2



Figure 10-3

(Exterior continued)



Comment 11:

The fireplace exhaust vent is very low to grade level which presents a safety issue if accidentally touched when it is hot. Be mindful of this danger when the fireplace is turned on.



Figure 11-1

Garage

Garage Type:	Attached Condition: Satisfactory
Garage Size:	2 Car
Door Opener:	Chain Drive Condition: Satisfactory
Opener Safety Feature:	Photo-electric sensor, Force Sensitive Condition: Satisfactory

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Walked Roof/Arms Length
Roof Design:	Gable
Roof Covering:	Dimensional composite Condition: Satisfactory
Approximate Roof Age:	1 Yr
Ventilation Present:	Ridge Vents Condition: Satisfactory
Vent Stacks:	Metal, Neoprene boots Condition: Satisfactory
Flashings:	Aluminum Condition: Satisfactory
Soffit and Fascia:	Aluminum, Vinyl Condition: Satisfactory
Gutters & Downspouts:	Metal Condition: Minor Defect



Comment 12:

Rainwater should be directed away from the home's foundation at least 6 feet. It is recommended to add gutter extensions at all necessary locations to avoid backflow of water to the foundation crawlspace which could create moisture problems.

(Roofing continued)



Comment 13:
General Roof Photo(s).



Figure 13-1



Figure 13-2



Figure 13-3



Comment 14:
At the peak of the roof, the truss framing appears to be installed out of line. In two locations, the roof framing sticks out significantly beyond other sections of the roof. Further evaluation by a licensed contractor is recommended.

(Roofing continued)



Figure 14-1



Figure 14-2



Figure 14-3

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:
Foundation Material:

Slab on Grade
Poured Concrete
Condition: Satisfactory

Wall Structure:

Unable to inspect

(Structure continued)

Column or Pier Material: Composite, Masonry
Condition: Minor Defect

Attic

Attic Entry:	Upstairs living room
Roof Framing Type:	Wood Trusses
	Condition: Satisfactory
Roof Deck Material:	Oriented Strand Board
	Condition: Satisfactory
Vent Risers:	Metal, PVC
	Condition: Satisfactory
Insulation:	Blown In Fiberglass
	Condition: Satisfactory
Attic Inspected :	Inside
	Condition: Satisfactory
Fixed Light And Receptacle:	Yes
	Condition: Satisfactory



Comment 15:
Attic light and receptacle power switch.

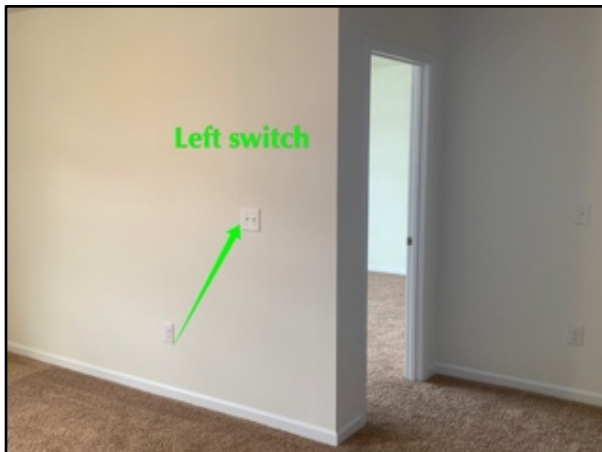


Figure 15-1

Maintenance Platform: Yes
Condition: Satisfactory

(Attic continued)



Comment 16:
General Attic Photo(s).



Figure 16-1



Figure 16-2

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Service panel in garage
Service Panel Location:	Garage
Service Panel Manufacturer:	Square D
	Condition: Satisfactory
Service Entrance Material:	Stranded Aluminum
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps

(Electrical continued)

Service Panel Ground:

Ground Rod



Branch Circuit Wiring:

Non-Metallic Shielded Copper, Stranded Aluminum
Condition: Satisfactory

Overcurrent Protection:

Breakers
Condition: Satisfactory

GFCI/AFCI Breakers:

Yes
Condition: Satisfactory

Smoke Detectors:

Hard Wired Interconnected
Condition: Satisfactory

Carbon Monoxide Detectors:

Yes
Condition: Satisfactory

(Electrical continued)



Comment 17:
General Electrical Panel Picture(s).



Figure 17-1

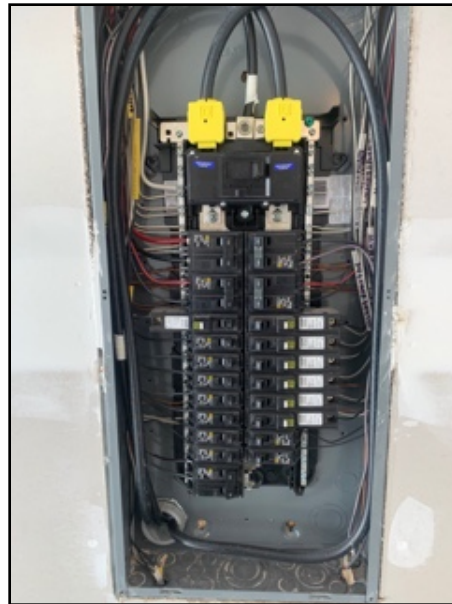


Figure 17-2

Electrical Fixtures

Receptacles:	Grounded
	Condition: Satisfactory
Lights/fans:	Functioning
	Condition: Satisfactory
GFCI Exterior Receptacles :	Present
	Condition: Satisfactory
GFCI Interior Receptacles:	Kitchen, Bathroom, Garage , Laundry room
	Condition: Satisfactory

(Electrical Fixtures continued)



Comment 18:
Missing switch plate screw at back door.



Figure 18-1

HVAC

HVAC System Type:	Central Split System
Thermostat:	Digital Condition: Satisfactory
Thermostat Location:	First floor entry and 2nd floor living room
Heating And Cooling In Each Habitable Room:	Yes Condition: Satisfactory
Air Filter:	Disposable Condition: Satisfactory
Number Of Units:	One Condition: Satisfactory

(HVAC continued)



Comment 19:

Attic furnace/air handler overflow drain pan line .



Figure 19-1

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Attic
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Carrier
Heating Fuel:	Gas
	Condition: Satisfactory
Approximate Age:	1 Yr
Type of Distribution:	Flexible Ducting
	Condition: Satisfactory

(Heating continued)

Heating Inspection Method:

Panels removed

Condition: Satisfactory



Comment 20:

Furnace emergency shutoff switch in the attic.



Figure 20-1

(Heating continued)



Comment 21:
Furnace gas shutoff valve.



Figure 21-1

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Satisfactory
Condenser Make:	Carrier
Condensor Size:	42,000 BTU (3.5 Tons)
Condenser Approximate Age:	1 Yr
Condesate Drainage:	To Exterior
	Condition: Satisfactory

(Cooling continued)



Comment 22:
Condenser Info Plate(s).

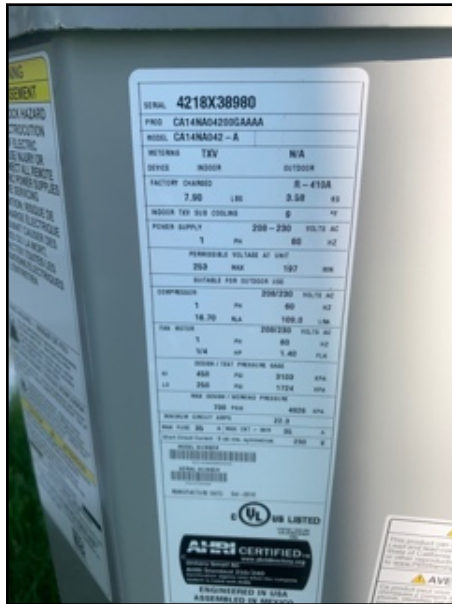


Figure 22-1

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

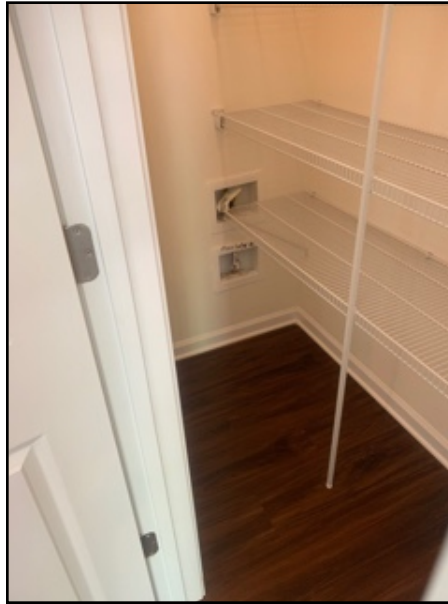
Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Supply Pipe Material: PEX
Condition: Satisfactory

(Plumbing continued)

Location of Main Water Shutoff: Kitchen pantry



Waste Pipe Material:

PVC

Condition: Satisfactory

Location of Fuel Shutoff:

At Meter



Fixtures :

Condition: Satisfactory

Hose Bibs:

Anti siphon valve , Frost-proof valve

Condition: Satisfactory

(Plumbing continued)

Fuel Storage Location:

Left exterior
Condition: Satisfactory



Water Heater

Manufacturer:	Bradford White
Fuel:	Electric
Capacity:	50 gal
Approximate Age:	< 1 Yr
Temp & Pressure Relief Valve:	Present With Blow Off Leg Condition: Satisfactory
Fuel Disconnect:	Within Sight of Equipment
Thermal Expansion Tank:	Present and supported Condition: Satisfactory

Bathrooms

Lighting Fixtures:	Working Condition: Satisfactory
GFCI Outlets:	Yes Condition: Satisfactory

(Bathrooms continued)



Comment 23:

The master bathroom exhaust fan does power up when switch on by the light switch. Repair or replace as needed.

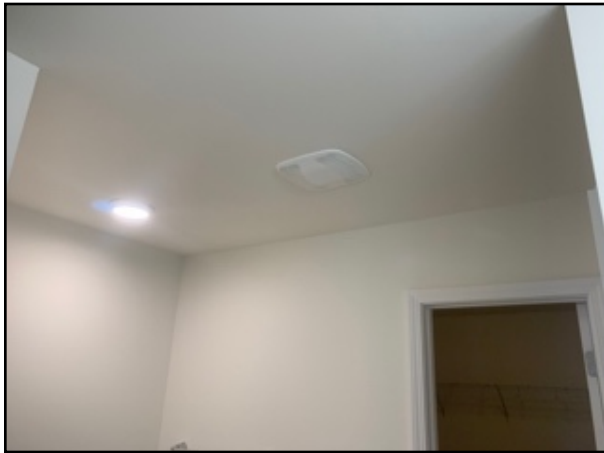


Figure 23-1

Kitchen

Cabinets:	Wood, Laminated Condition: Satisfactory
Countertops:	Granite Condition: Satisfactory
Sink:	Double Condition: Satisfactory
GFCI :	Yes Condition: Satisfactory

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Condition: Minor Defect
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(Appliances continued)



Comment 24:

The bottom storage door of the slide in range will not open or close.

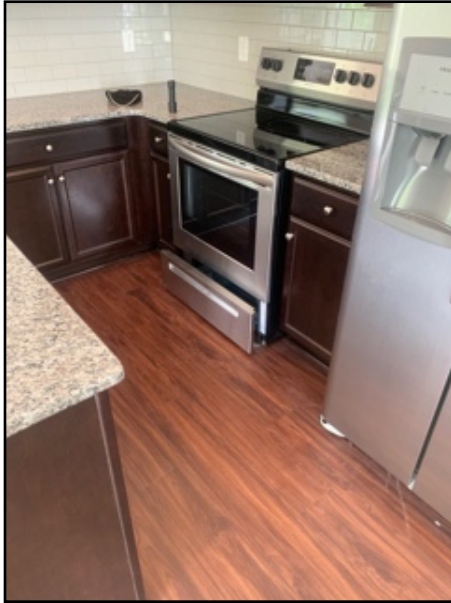


Figure 24-1



Comment 25:

The slide in range is wobbly which could lead to accidental spills. Adjust the slide in range feet so that it is level and firm.

Dishwasher:

Condition: Satisfactory

(Appliances continued)

i Comment 26:
Dishwasher power switch on the far right.

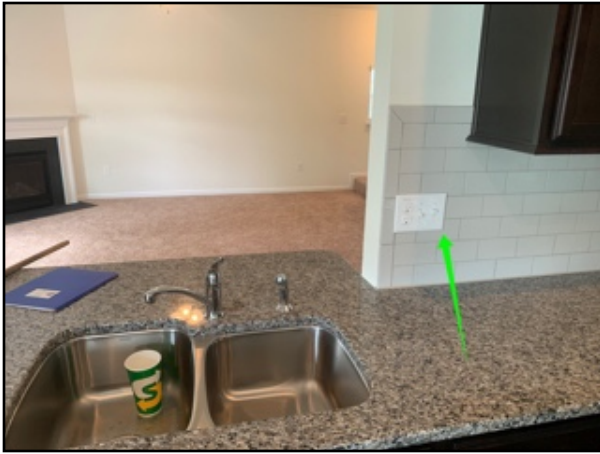


Figure 26-1

Microwave:	Condition: Satisfactory
Disposal:	Condition: Satisfactory
Anti-tip Bracket:	Unable to determine

i Comment 27:
Have the builder ensure that the anti tip bracket for the free standing range is installed.

Laundry

Dryer Venting:	To Exterior Condition: Satisfactory
GFCI Protection:	Yes Condition: Satisfactory
Laundry Hook Ups:	Yes Condition: Satisfactory
Light Fixture :	Yes Condition: Satisfactory

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors: Tile, Carpet, Vinyl
Condition: Cosmetic Defect



Comment 28:
Minor cosmetic scratches to the kitchen floor.

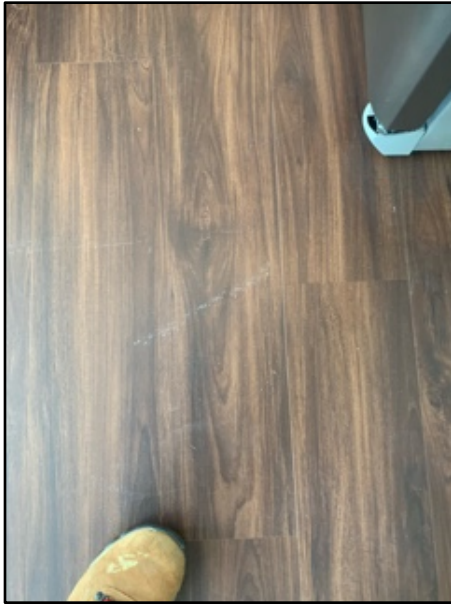


Figure 28-1

Walls: Painted Drywall
Condition: Minor Defect



Comment 29:
The ceiling and/or in several rooms, including but not limited to the entry hallway at the stairwell wall is showing the beginning signs of nail pops, corner bead cracks, which in time will become exposed or more extensive. (cosmetic)

(Interior continued)

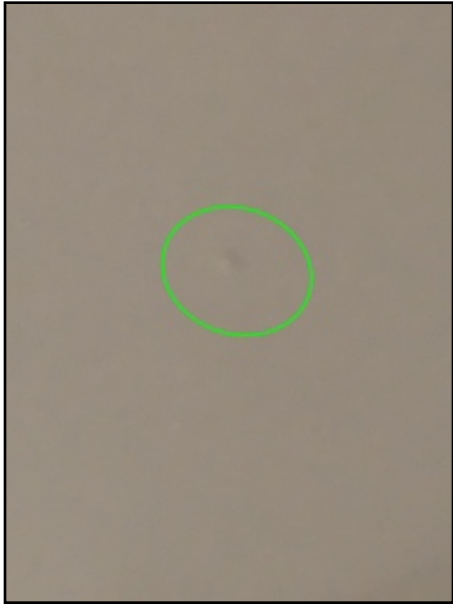


Figure 29-1



Figure 29-2



Figure 29-3



Figure 29-4

(Interior continued)



Comment 30:

There is caulking missing to the laundry room base trim. ***Cosmetic issue

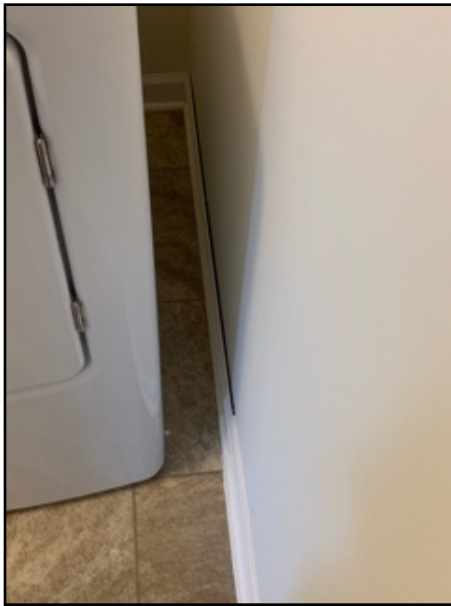


Figure 30-1

Fireplace:

Manufactured, Gas Burning

Condition: Further Evaluation Required



Comment 31:

All fireplaces, chimneys and fuel burning stoves should be inspected by a certified technician before their first use and annually to ensure safety and proper function.



Comment 32:

The fireplace gas shutoff is located underneath the fireplace behind the removable front panel.

(Interior continued)



Figure 32-1



Comment 33:
Fireplace on/off switch.



Figure 33-1

Interior Stairs:

Condition: Minor Defect

(Interior continued)



Comment 34:

A finish nail is protruding through the stair handrail at the stair rail cap. This could lead to an accidental cut or other injury. Ensure sure all fasteners are fully driven.



Figure 34-1



Comment 35:

Caulking is missing and there are minor damaged areas to the stair skirt trim.

***Cosmetic issue

(Interior continued)

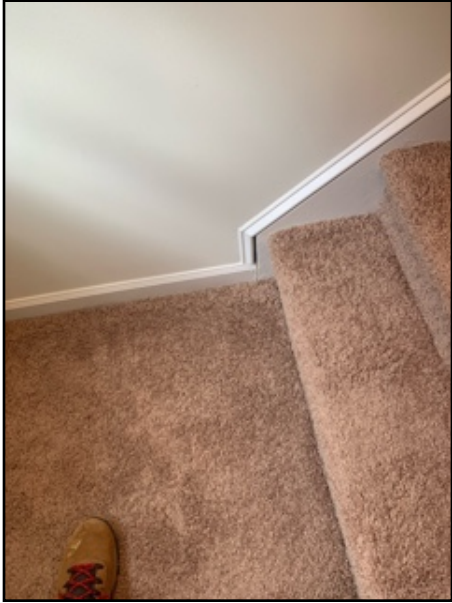


Figure 35-1

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection and not a prediction of future conditions. It is a snapshot in time. A general home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

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